

LIFT Lift shaft size to be confirmed prior to order of Potton package. Lift shaft to be lined with 12.5m plasterboard therefore structural opening size must allow for fitting tolerance & plasterboard. Lift structure to be self supporting or if load is to be transferred to the timber frame this must be advised prior to order of Potton package. Any fixings into the timber frame must allow for differential movement.

NOTE: all walls, ducts and boxings to bathrooms & wc / cloakroom should be strong enough to support grab rails, seats, etc. that could impose a load of up to 1.5kN/m². additional sanitary facilities beyond those required to comply with this guidance need not have strengthened walls.

NOTE: WC, basin & shower with clear access zones shown dotted

- Key:**
- Suggested position of soil vent pipe, actual position not determined by Potton.
 - Entrance door to be mobility compliant.
 - Denotes timber frame structural opening in millimetres for window & door openings. Lower box denotes item reference. 'FE' suffix, where shown, denotes item to be fire escape compliant.
 - Rear porch structure by others.
 - Wet room to be vented by mechanical extract fan ducted to outside air, capable of an extract rate of 6 litres per second with a 15 minute over-run and linked to the light switch.
 - Possible position of air source heat pump if required.

Rev	Date	Description	Drawn	Checked
V	01/09/22	Crown roof details changed to flow to sides of roof, not rear.	AY	n/a
U	11/05/22	Construction Issue.	SD	n/a
T	28/04/22	ensuite/bathroom wall changed to 140+stud, double door to WIW	AY	n/a
S	22/04/22	140+stud wall added between stair and lift to hide steelwork. WIW and ensuite swapped to allow future removal of wall between master bedroom and lift.	AY	n/a
R	14/04/22	Soffitt note updated.	SD	n/a
Q	31/03/22	Garage removed; storage attic reverted to cold roof.	HLM	n/a
P	17/02/22	Order Acceptance Drawings	AY	n/a
O	27/01/22	Mullions added	-	VC
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K	17/11/21	Sections A, B and C	AY	n/a
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I	18/06/21	Balcony removed	VC	n/a
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G	04/06/21	Door added	VC	n/a
F	27/05/21	Materials and roof changes	VC	n/a
E	21/21/20	Garage plan layout revised. Porch added to front. Rear porch by others indicated.	KDH	n/a
D	15/21/20	Garage reduced in scale to flat-roof. Claddings revised.	KDH	n/a
C	16/11/20	Additional treads added to stairs to reduce pitch. Snug rear partition moved to rear & dining area reduced. Low-wall increased to 2.0m. Roof pitch reduced. Garage revised to indicative outline-only for review.	KDH	n/a
B	28/10/20	Layout revisions to garage & attic room. House staircase reversed & minor layout alterations. Solar PV added to attic rear view.	KDH	n/a
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GROUND FLOOR
 GROUND FLOOR GROSS INTERNAL AREA : 102.8m²
 GROUND FLOOR EXTERNAL FOOTPRINT : 120m²
 TOTAL GROSS INTERNAL AREA : 197.4m²

Client:
Mr & Mrs S. Bennett
 Site Address:
Timber Lodge, Station Road (beside Ilex Close), Northiam, East Sussex, TN31 6DW

Drawing Title:
Ground Floor Plan
 Job Number: **20-070** Drawing Number: **GF** Revision: **V**
 Drawing Scale (UNO): **1:100@A3**

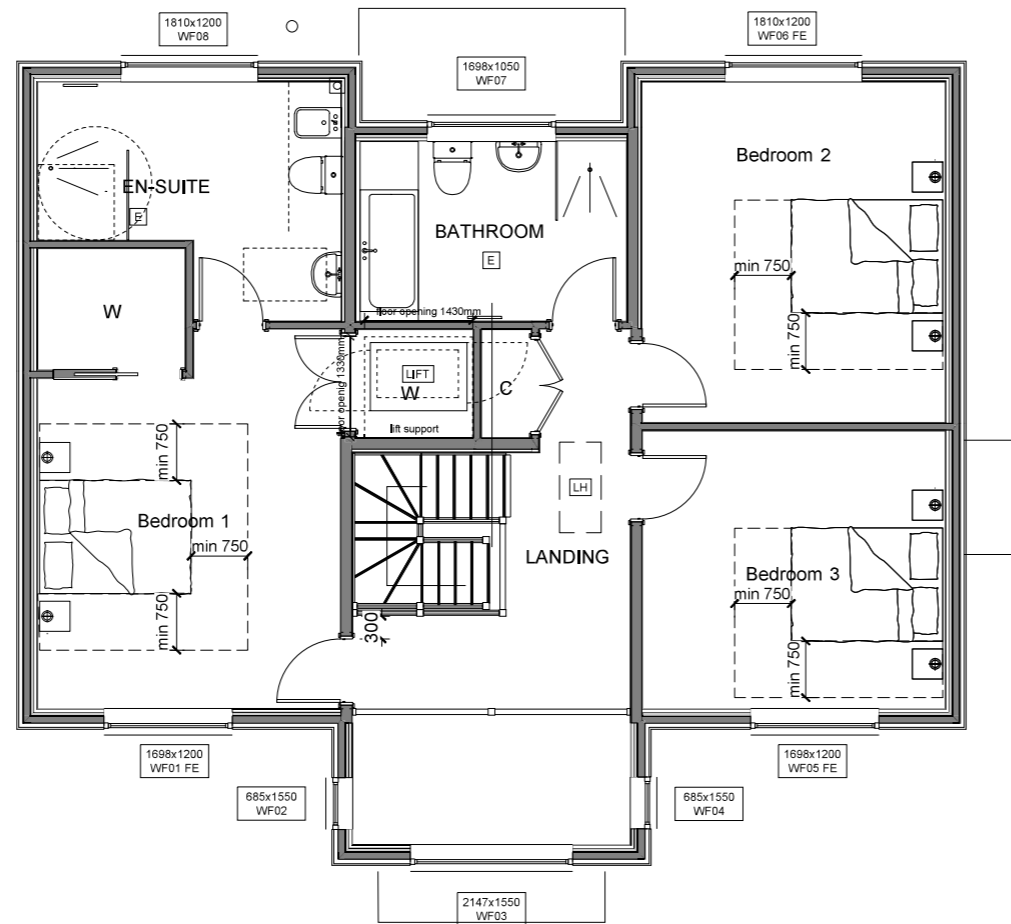


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FOR CONSTRUCTION

NOTE:
WC, basin & shower
with clear access
zones shown dotted



FIRST FLOOR

FIRST FLOOR GROSS INTERNAL AREA (excl gallery): 96.4m²

LIFT Lift shaft size to be confirmed prior to order of Potton package. Lift shaft to be lined with 12.5m plasterboard therefore structural opening size must allow for fitting tolerance & plasterboard.
Lift structure to be self supporting or if load is to be transferred to the timber frame this must be advised prior to order of Potton package. Any fixings into the timber frame must allow for differential movement.

NOTE:
all walls, ducts and boxings to bathrooms & WC / cloakroom should be strong enough to support grab rails, seats, etc. that could impose a load of up to 1.5kN/m². additional sanitary facilities beyond those requires to comply with this guidance need not have strengthened walls.

NOTE:
Lift shown as GARTEC: ARTICO 6000 900 x 1280 finished floor opening for lift: 1630x1330mm
To allow for future lift:
walls between wardrobe and the master bedroom and the walls between the cupboard and the wardrobe to be able to be removed should access be required from the lift to both the bedroom and the landing.
Design wall adjacent to lift for support.
future 40mm pit to be allowed for in slab design

- Key:**
- Suggested position of soil vent pipe, actual position not determined by Potton.
 - Denotes timber frame structural opening in millimetres for window & door openings
Lower box denotes item reference. 'FE' suffix, where shown, denotes item to be fire escape compliant.
 - Suggested loft hatch position. Final position determined by structural design
 - Wet room to be vented by mechanical extract fan ducted to outside air, capable of an extract rate of 6 litres per second with a 15 minute over-run and linked to the light switch.
 - Guarding height to balcony to be 1.1m, constructed to prevent 100mm sphere passing through balusters and such that children may not readily climb over (not by Potton).

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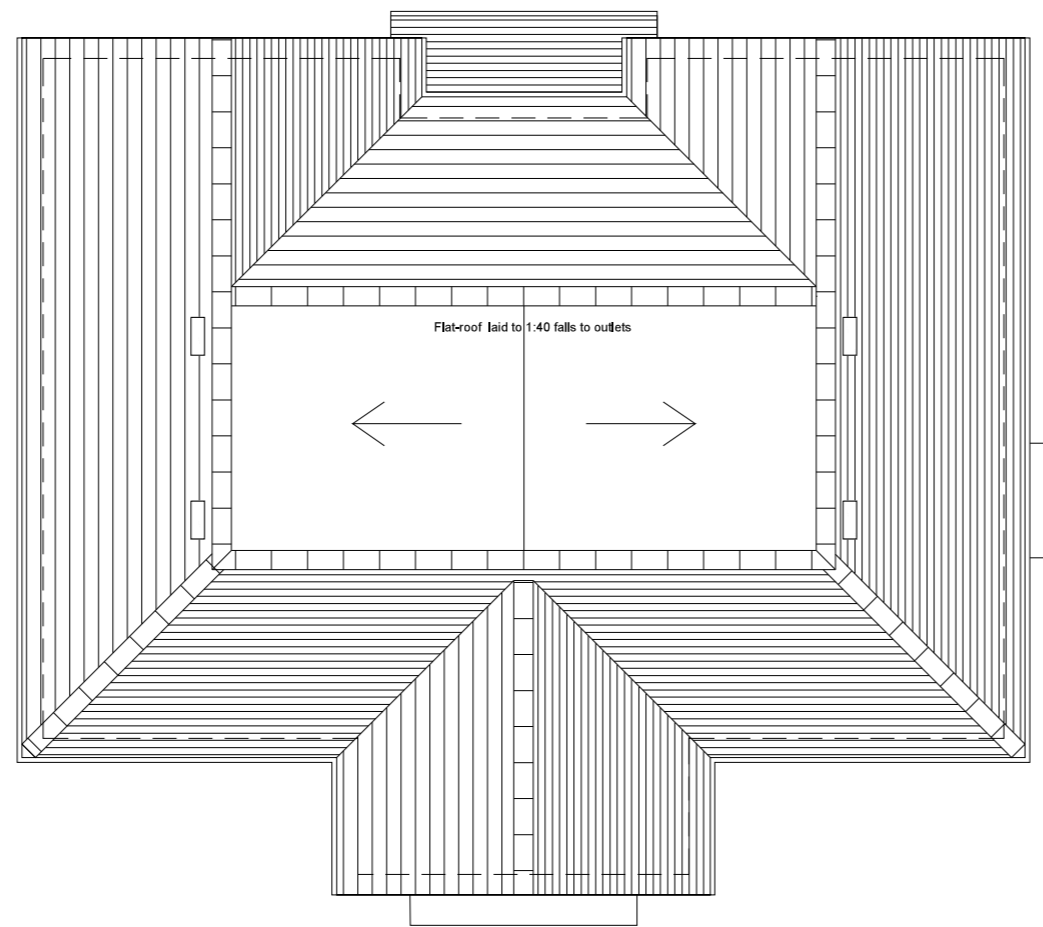
Drawing Title:
First Floor Plan
Job Number: **20-070** Drawing Number: **FF** Revision: **V**
Drawing Scale (UNO): **1:100@A3**



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FOR CONSTRUCTION



ROOF PLAN

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Rev:	Date:	Description:	Drawn:	Checked:

Client:

Mr & Mrs S. Bennett

Site Address:

Timber Lodge, Station Road (beside Ilex Close), Northiam, East Sussex, TN31 6DW

Drawing Title:

Roof Plan

Job Number: Drawing Number: Revision:

20-070 R V

Drawing Scale (UNO):

1:100@A3



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FOR CONSTRUCTION



FRONT ELEVATION



REAR ELEVATION

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Client:
Mr & Mrs S. Bennett

Site Address:
Timber Lodge, Station Road (beside Ilex Close), Northiam, East Sussex, TN31 6DW

Drawing Title:
Front & Rear Elevations

Job Number: **20-070** Drawing Number: **E1** Revision: **V**

Drawing Scale (UNO): **1:100@A3** 0 1 2 3 4 5



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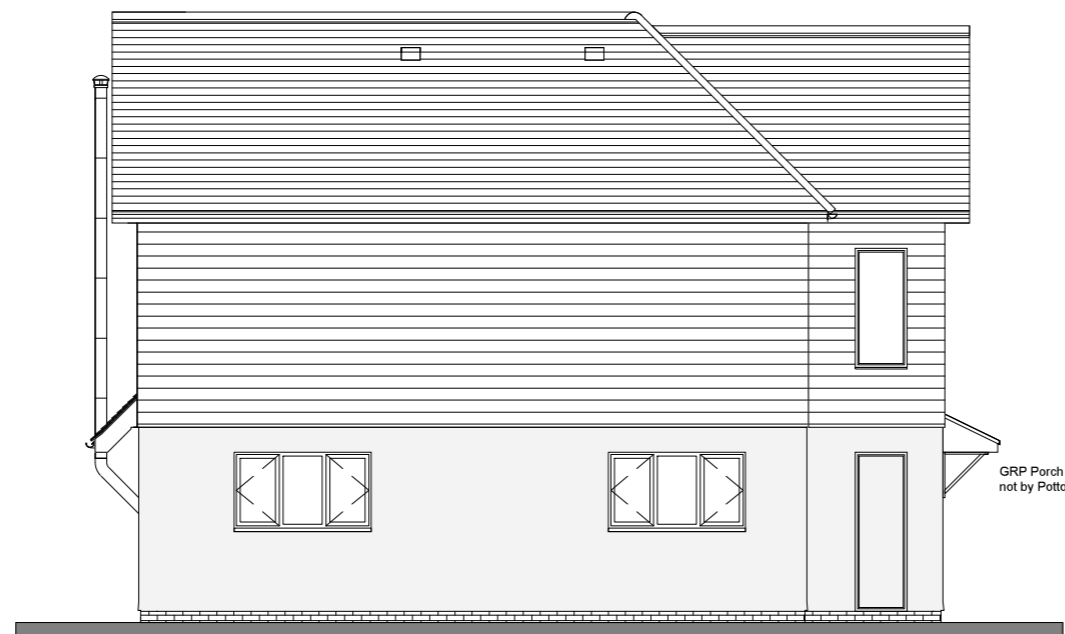
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FOR CONSTRUCTION



SIDE ELEVATION



SIDE ELEVATION

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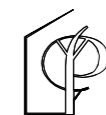
Side Elevations

Job Number: Drawing Number: Revision:

20-070 E2 V

Drawing Scale (UNO):

1:100@A3



POTTON
A KINGSPAN COMPANY

Kingspan Timber Solutions Ltd
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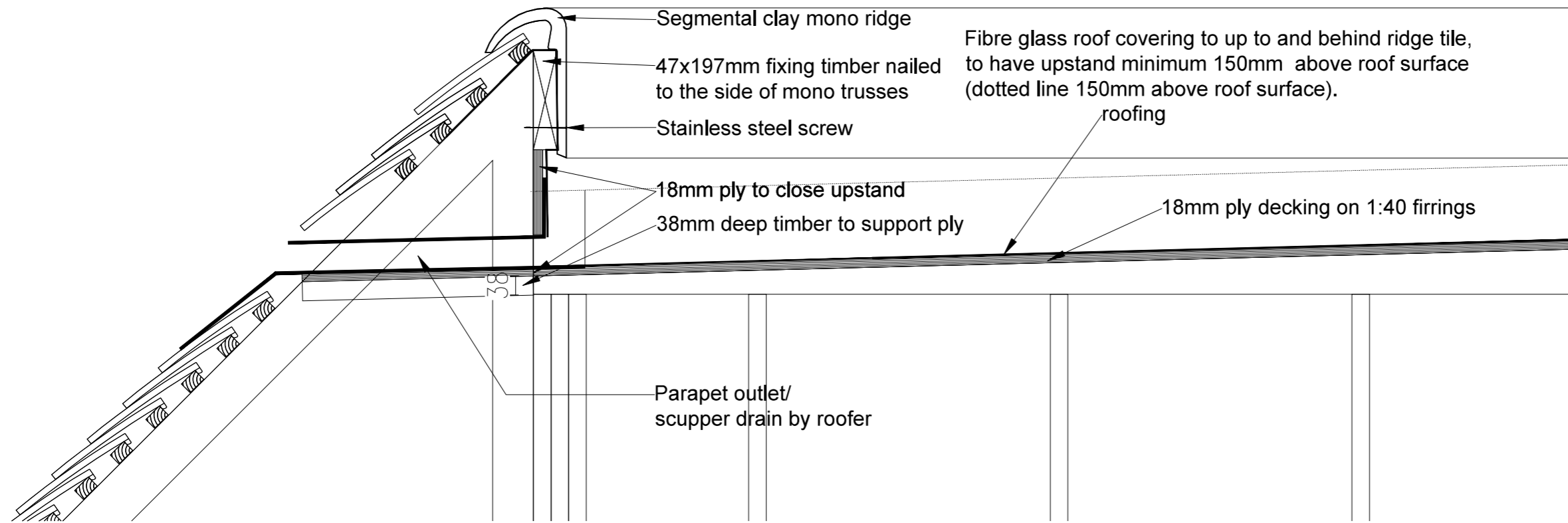
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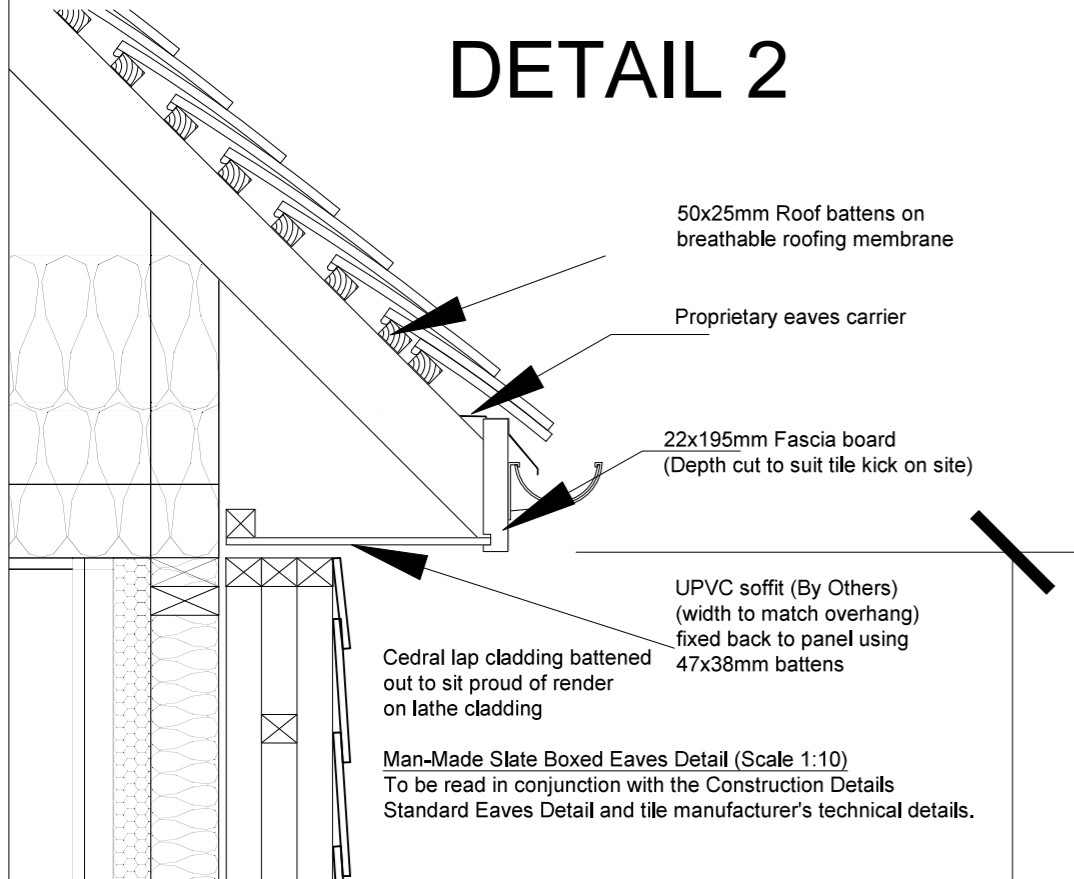
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FOR CONSTRUCTION

DETAIL 1



DETAIL 2



Key.

- [B] Guarding height to balcony to be 1.1m, constructed to prevent 100mm sphere passing through balusters and such that children may not readily climb over (not by Potton).

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Drawing Title:

Basic Sections

Job Number: Drawing Number: Revision:

20-070 DETAILS V

Drawing Scale (UNO):

1:10@A3



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